



**A New Branch Bank for:  
Citizens Progressive Bank  
5031 Cypress Street (Hwy) 80  
West Monroe, Louisiana 71291**

**Addendum No. 1**

**October 31, 2024**

Notice to General Contractors General contractors are advised to notify all affected subcontractors of changes involved in the following addendum inasmuch as this office does not have a complete record of all subcontractors estimating this work.

THE FOLLOWING CHANGES HEREBY BECOMES A PART OF THE CONTRACT DOCUMENTS AND ALL PROVISIONS OF THE DOCUMENTS SHALL APPLY TO THE CHANGES. INCLUDE RELATED CHANGES THROUGHOUT THE VARIOUS DRAWINGS AND ALL SECTIONS OF THE SPECIFICATIONS WHICH WOULD RESULT FROM THESE CHANGES:

Addendum Consist of (8) Eight – 8 ½" x 11" pages and (3) Three 24" x 36" drawings.

**ARCHITECTURAL GENERAL NOTES:**

1. Please find attached a joint layout plan and concrete details.
2. Provide an allowance in the base bid of \$5000 for mantle and wall fireplace.
3. Provide 6' high painted treated wood fence around generator and transformer. Use aluminum 4" post with treated (2) 2x4 horizontal bracing between post for nailing 5/8" x 5 1/2" x 6' tall wood pickets. Mount post in 12" round concrete, 14" deep.
4. There will not be a trash dumpster area. Relocate the electrical transformer to the previous area of the trash dumpster.
5. Landscaping and Irrigation is provided by owner. The GC will coordinate with the subcontractor.
6. The drive-thru window is provided and installed by the owner.



ARCHITECTURE • DESIGN/BUILD • CONSTRUCTION MANAGEMENT

7. The laser cut sign and mural is by the Owner.
8. The building soffit is vinyl per the plans.
9. Use closed cell insulation in lieu open cell insulation. Fire Retardant is still required.
10. Building plaque is required per specifications and will be located by owner/architect.
11. See revised site plan for location of flagpole.
12. Provide 3 lights for flagpole. Use 1 ¼" conduit to flagpole lights from A-67 circuit, E7 outlet. Provide Lithonia – DSXF1LED-P1-40K-MSP-MVOLT-THK-DDBXD/PSSA, 2600 lumens, 4000k color with ½" thread knuckle pipe, 7" stanchion mount 120" apart around flagpole. Aim to maximize lighting.
13. Provide a \$20,000 allowance for a painted brick monument sign with lighting. Provide (2) for monument sign. Use 1 ¼" conduit to lights from A-61 circuit, Provide Lithonia – DSXF1LED-P1-40K-MSP-MVOLT-THK-DDBXD/PSSA, 2600 lumens, 4000k color with ½" thread knuckle pipe, 7" stanchion mount on both sides of sign. Aim to maximize lighting.
14. All driveways entrances and drives are by General Contractor.
15. Paint specifications are correct. Delete any reference to pavilions.
16. All exterior windows are storefronts. See attached specification.
17. There are not any metal studs in the project.
18. The exterior sheathing is 5/8" OSB coated with prosoco per the plans.
19. All drive thru ceiling and main wall is E.I.F.S. Disregard any reference to stucco.
20. There will not be any insulation above the acoustical lay in ceilings.
21. Paintable Henry Brick – Use allowance \$450 per thousand including taxes.
22. Beams at front entrance are 8" x 12".
23. Provide 5' x 5' x 5" concrete house pad with 6x6x6 mesh with 3000 psi concrete under all hvac units.
24. See attached raised curb island details for drive-thru.
25. Shutters shall be wood materials.
26. Windows sills and jambs shall be painted gypsum board.
27. There is not pipe bollards at transformer or gas meter locations.
28. Storefront doors and windows shall be dark bronze.
29. The owner will provide the appliances.
30. The owner will provide all door hardware with A1 Locks. GC will coordinate door prep with hardware.
31. Enter / Exit signs are provided by owner, power and conduits by GC.
32. Metal roof panels shall be 12' – 14" wide.



- 33. Owner will provide window shading.
- 34. Section 09300 – Milestone shall be Tycoon style.

Please find listed subcontractors that the owner would like to give the opportunity to provide a bid to the General Contractors.

- 1. Jodie Rushing Triple r concrete.
- 2. Norred Fire Systems
- 3. Kenny Lawrence – L & A plumbing
- 4. Merrel Alan Adkins – Pokies Ready Mix
- 5. Copeland Electric
- 6. EMS Electric – Eric Shopher

## **SECTION 08500 – ALUMINUM STOREFRONTS AND WINDOWS**

### **PART ONE - GENERAL**

#### **DESCRIPTION**

Furnish and install all aluminum windows, window sub-frames, steel reinforcement channels, break metal mullions, and all miscellaneous aluminum framing indicated on drawings and specified herein.

Also included is hardware for entry doors, thresholds, weather-stripping, and sealing of all storefront required in this section.

#### **RELATED WORK SPECIFIED ELSEWHERE**

General & Supplementary Conditions  
Sealants & Caulking: Section 07900  
Finish Hardware: Section 08710  
Glass & Glazing: Section 08800

#### **QUALITY ASSURANCE**

Test reports certified by an independent testing laboratory must be made available upon request.

#### **SUBMITTALS**

SHOP DRAWINGS: Furnish shop drawings showing dimensions, details of construction, finish joint system, anchorage, and glazing details.

SAMPLES: Provide aluminum finish samples in duplicate. Samples shall represent full range of permissible color tolerance.

MANUFACTURER'S DATA: Cut sheets showing hardware and accessories and schedule of hardware.

### **PART TWO - PRODUCTS**

#### **ALUMINUM STOREFRONT & WINDOW SYSTEM:**

Shall be 2" x 4 1/2" extrusions of 6063-15 alloy and temper. Thermal barrier (exterior only) shall consist of a two-part, chemically curing, high density polyurethane. Fasteners shall be aluminum in accordance with ASTM A164. Glazing gaskets

shall be elastomeric extrusions systems and shall be 451 T by Kawneer or an approved equal by Old Castle.

Doors shall be medium stile complete with hinges, panic devices, concealed closures, thresholds and all required items for complete installation.

Doors shall be of mortised and reinforced corner construction, assembled with 3/8" diameter steel tension rods for maximum strength.

ADA Pull handle to be mounted in the stile panel and shall have concealed mechanical fastener mounting. The cylinder shall be fully recessed in the stile panel to prevent tempering and catching on clothing. Locking of the door shall be Paneline concealed rod exit touch-bar panic device.

All vertical and horizontal door sections shall be installed so as to receive infill thickness as indicated in the glass and glazing sections of the aluminum vertical snap-in glass stops, with a lock-in elastomeric system, shall be provided to accommodate specified in fill thickness.

**HARDWARE:** Doors shall have Paneline concealed rod exit panic devices, operating hardware shall be butt hinges or offset pivots as supplied by door manufacturer.

**FRAME:** Color Selected by Architect

**FINISH:** Color Selected by Architect

**GLAZING:** Shall be 1" insulated. (Solar Gray) Verify with architectural drawings.

## **PART THREE - EXECUTION**

### **INSPECTION**

Examine openings and surfaces to receive this work and determine that dimensions, elevations, and slopes of connecting work will insure a satisfactory installation.

Do not proceed with installation until all discrepancies are corrected.

### **PREPARATION**

Dissimilar Materials: Separate aluminum and other corrodible metal surfaces from sources of corrosion or electrolytic action at points of contact with other materials.

Separate by use of gaskets or coat of bituminous paint.

## **INSTALLATION**

Install framing members, doors, and field applied hardware in accordance with manufacturer's approved shop drawings and recommendations in prepared openings.

Provide and install all clips, brackets, hardware closure trim, and metal shapes to provide for complete installation.

Set members plumb, level, square, at proper elevations and in alignment with other work without warp or rack of frames or panels.

Accurately cut and fit materials, assemble with snug hairline joints, and anchor securely in place. All cut and machined ends and recesses shall be true and accurate and free of burrs or rough edges.

Set sill members and other members in a bed of sealant compound or with joint fillers or gaskets to provide weather-tight construction.

Sealant: By installer of aluminum entrances and storefronts. Sealant lines to be straight, neat, and thin (1/4" max. width). Finished joints to be recessed.

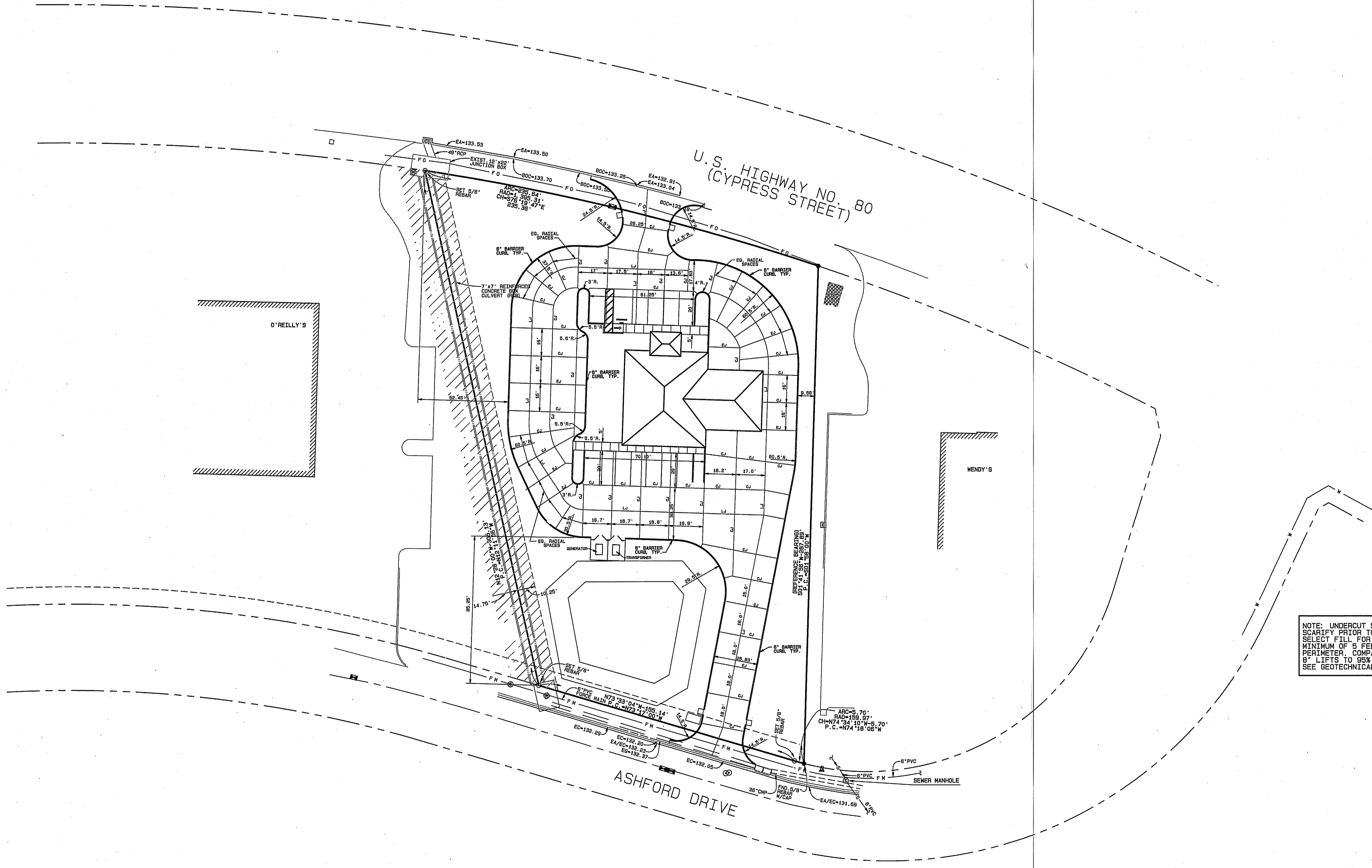
Clean aluminum surfaces promptly after installation.

Install hardware required for entrance doors. Verify proper operation of all moving parts. Adjust as required. Protect hardware until acceptance of building. Set each edge of thresholds in strip of sealant compound.

Install steel reinforcement in mullions of 8" wall system to resist wind load & eliminate deflection.

**END OF SECTION 08500**

TA<sup>2</sup>G – Citizens Progressive Bank West Monroe Branch  
September 2024



NOTE: UNDERCUT SITE A MINIMUM OF 12" AND SCARIFY PRIOR TO PLACING SELECT FILL ON SITE. SELECT FILL FOR THE BUILDING SHALL EXTEND A MINIMUM OF 5 FEET OUTSIDE THE BUILDING PERIMETER. COMPACT ALL SITE FILL IN MAXIMUM 6" LIFTS TO 95% STANDARD PROCTOR DENSITY. SEE GEOTECHNICAL REPORT IN SPECIFICATIONS.

STATE OF LOUISIANA  
 FOY B. GADBERRY  
 REG. NO. 30722  
 REGISTERED PROFESSIONAL ENGINEER  
 IN  
 CIVIL ENGINEERING  
 10/29/2024

SCALE: 1" = 30'

JOINT LAYOUT

DATE: 10/24/2024

1a

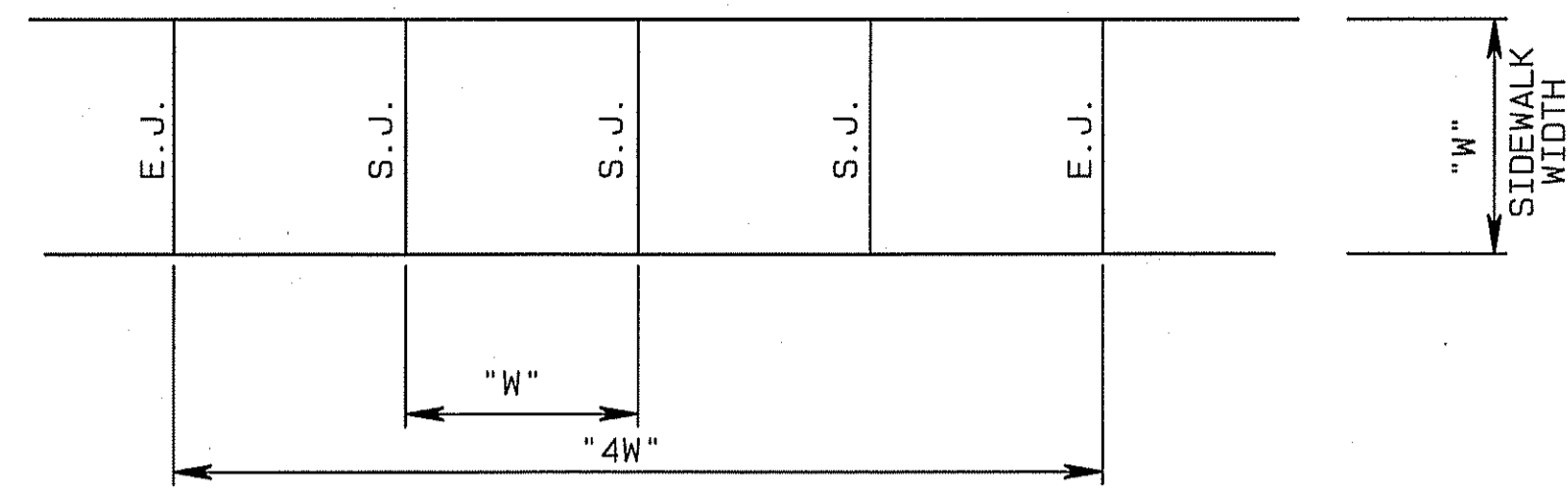
JOB No

CYPRESS STREET WEST MONROE, LA.

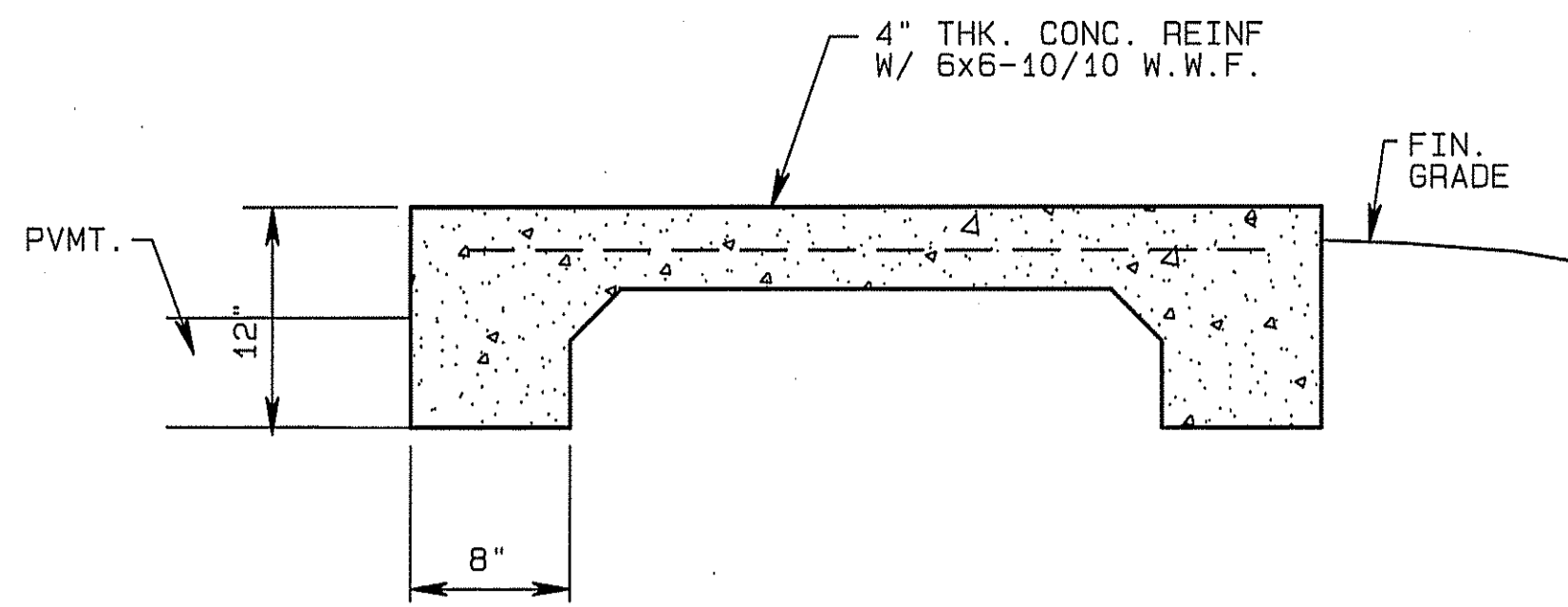
CITIZEN'S PROGRESSIVE BANK

DAVID LANE BEARD & ASSOCIATES, INC.  
 CIVIL & STRUCTURAL ENGINEERS PLANNING PROJECT MANAGEMENT  
 105 COMMERCIAL PARKWAY, WEST MONROE, LOUISIANA 71291 (510) 385-3227  
 email: beard@dlbengineering.com

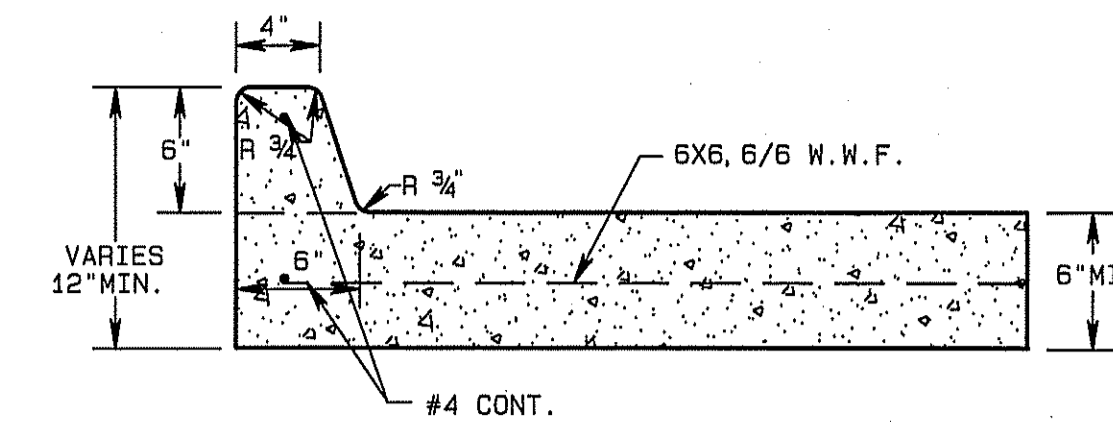




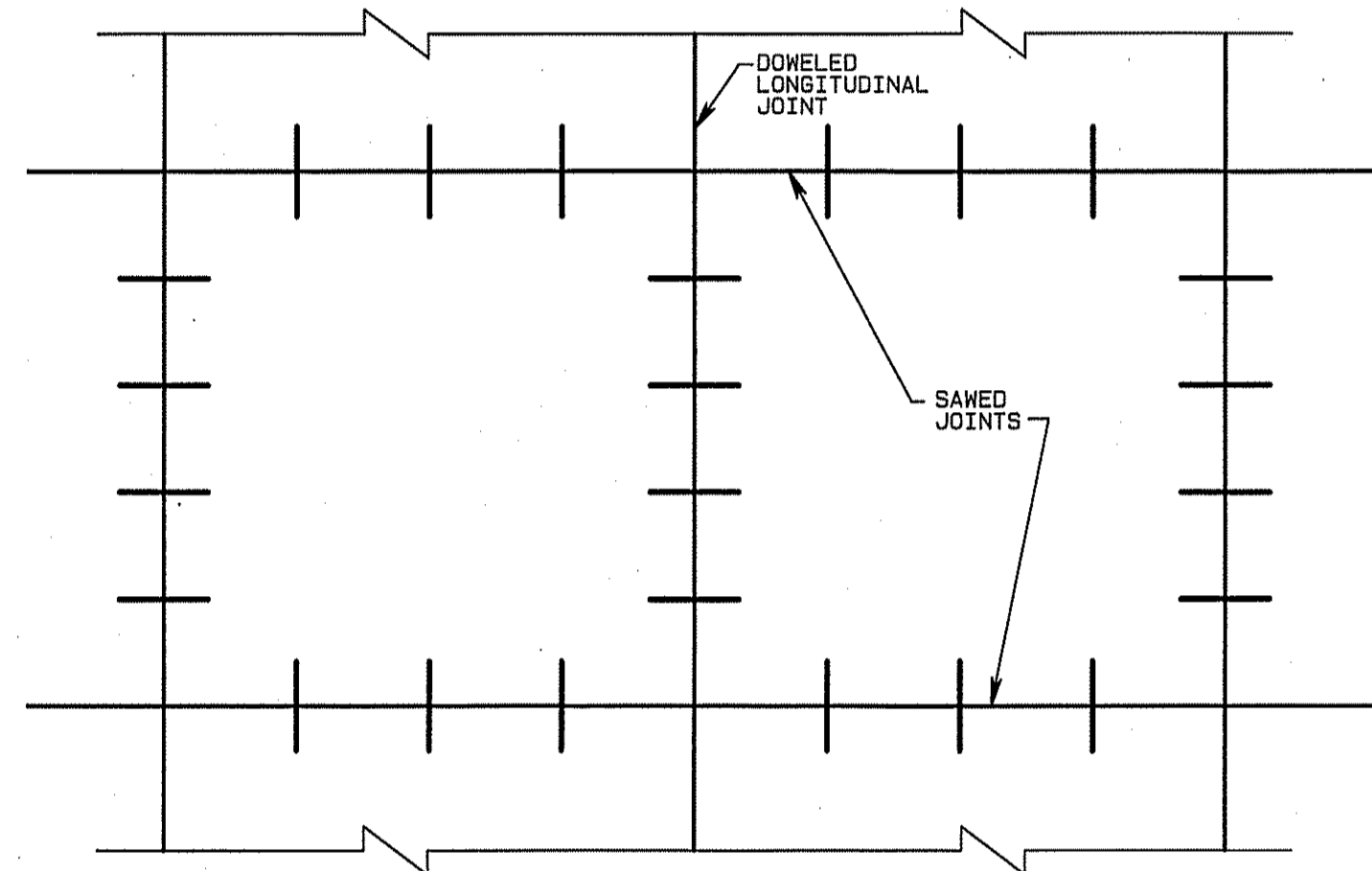
SIDEWALK PLAN



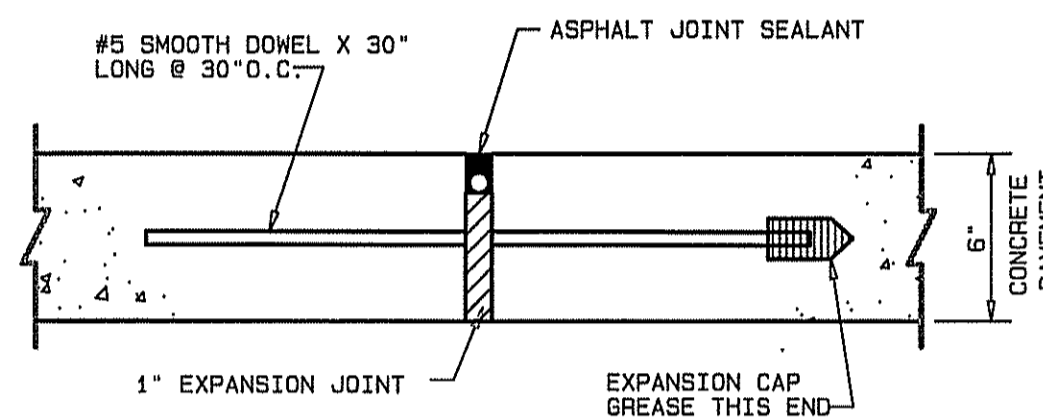
SIDEWALK DETAIL



CURB & GUTTER  
BARRIER TYPE

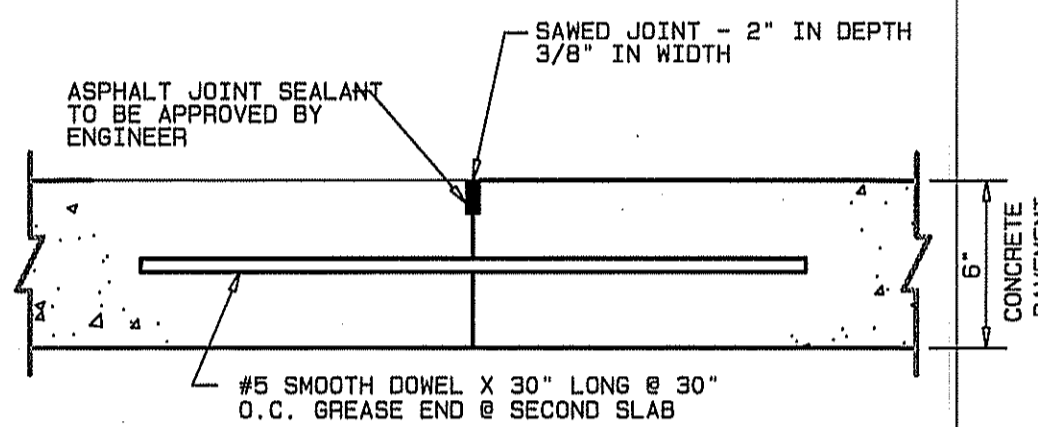


TYPICAL JOINT DETAIL

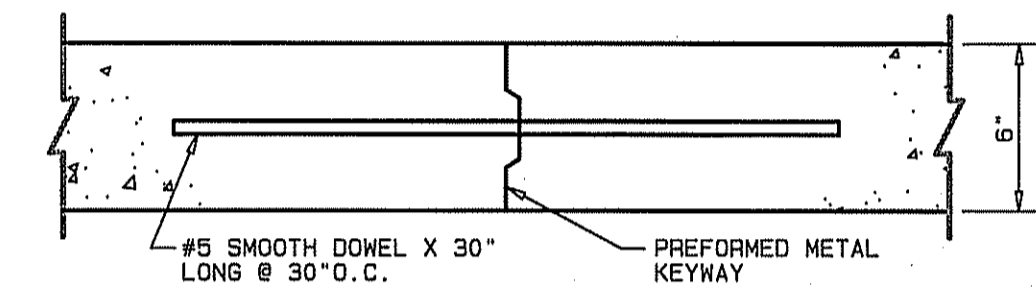


EXPANSION JOINT

NOTE: ALL CONCRETE PAVEMENT JOINTS SHALL BE CLEANED AND SEALED WITH POLYURETHANE OR SILICONE POLYMER JOINT SEALER CONFORMING TO LA. STD. SPECIFICATIONS FOR ROADS AND BRIDGES (LATEST EDITION) APPROVED BY ENGINEER.



CONSTRUCTION JOINT

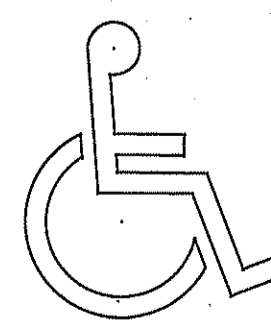
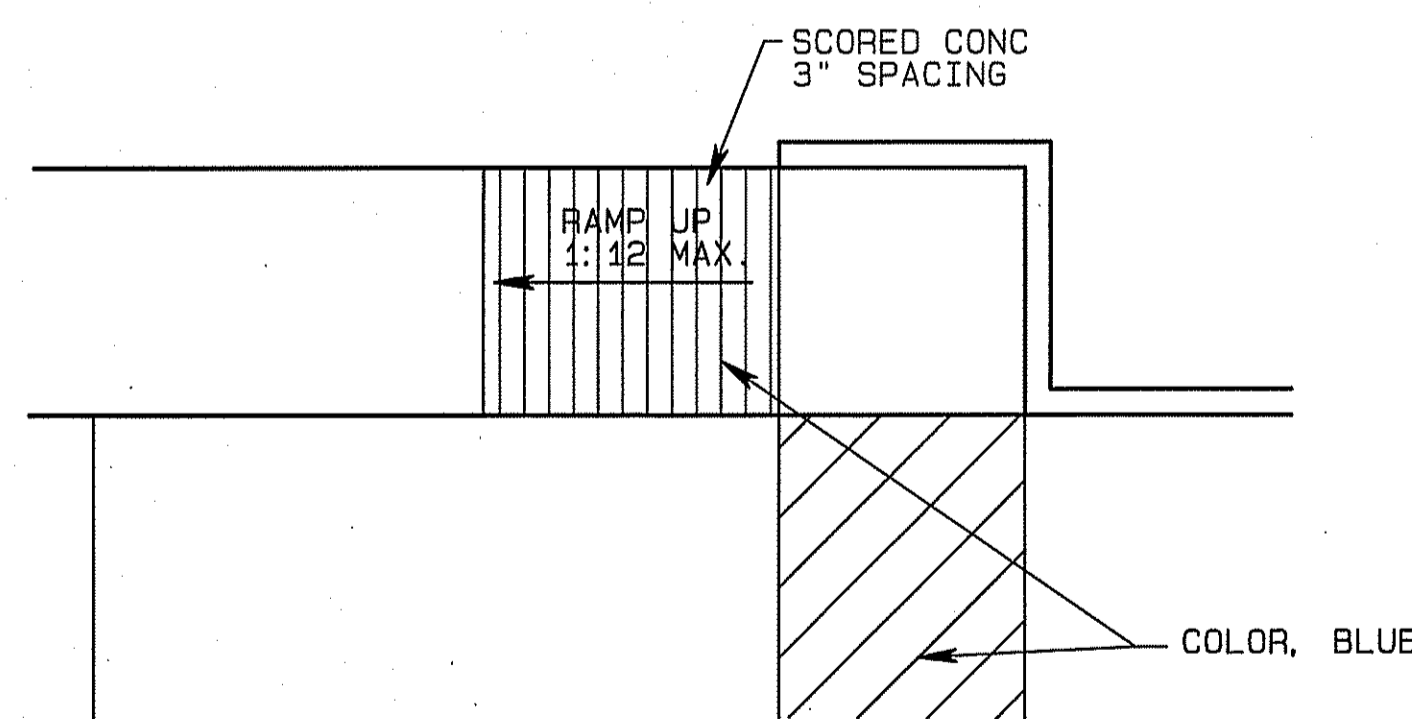


LONGITUDINAL JOINT

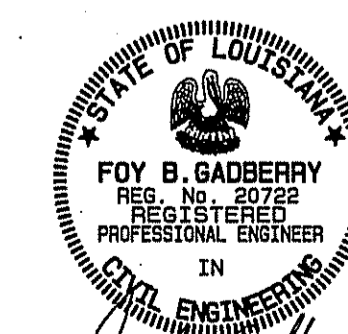
TYPICAL CONCRETE PAVEMENT JOINTS

NOTES:

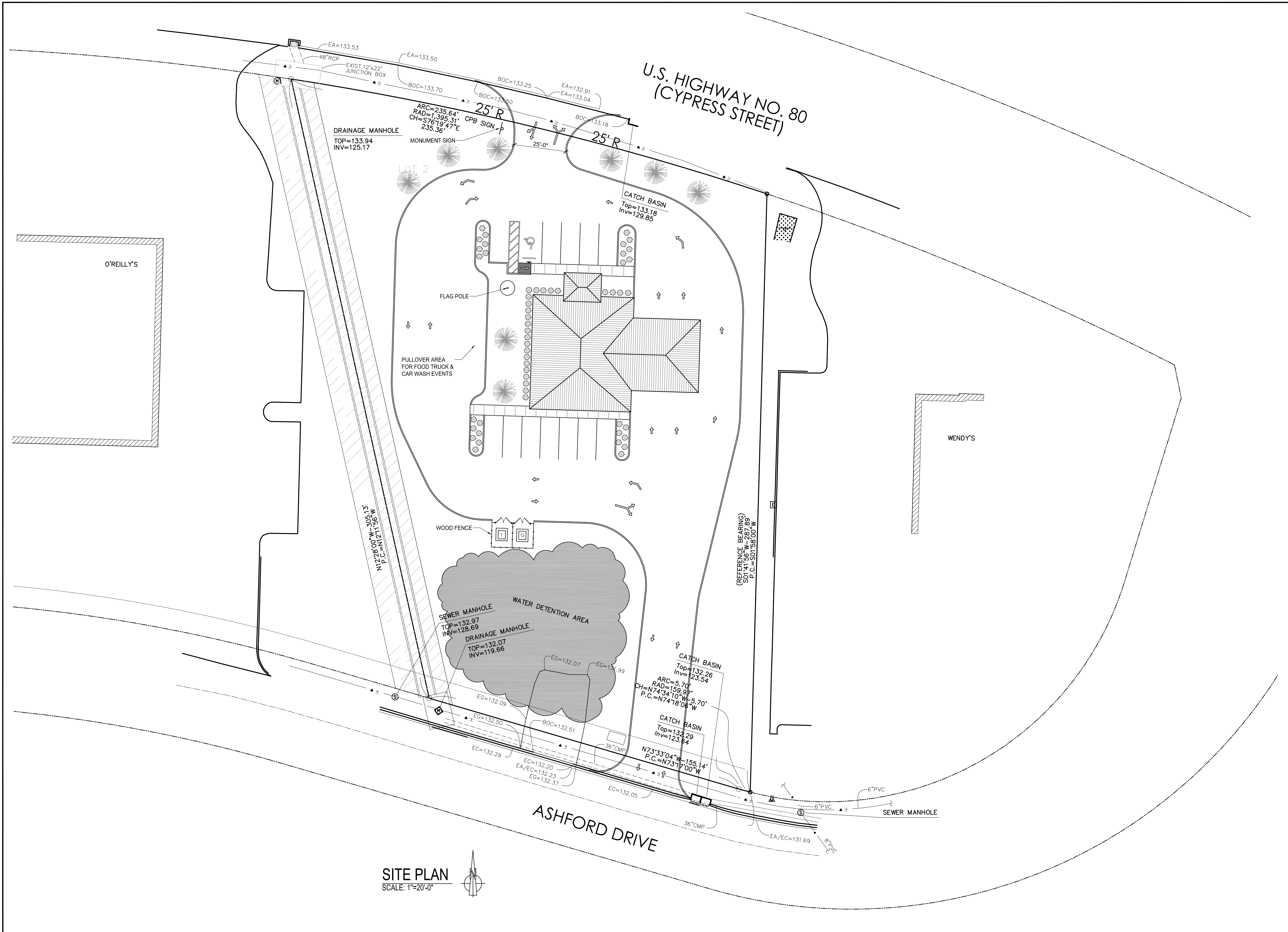
1. All concrete for curb sections, drainage structures and miscellaneous construction shall attain a minimum ultimate compressive strength of 4,000 psi @ 28 days.
2. All reinforcing bars shall be new billet intermediate grade deformed bars conforming to A.S.T.M. A-615.
3. Concrete aggregate shall conform to A.S.T.M. C-33.
4. No concrete shall be placed without prior approval of Engineer.
5. All drainage culvert to be polymer coated corrugated metal pipe, 16 gauge minimum. All joints shall be wrapped with filter cloth.
6. For concrete curb sections, drainage structures and miscellaneous construction shall place tooled dummy joints at a maximum spacing of 10'-0" o.c. with expansion joints at a maximum spacing of 60'-0" o.c. Expansion joints shall be 3/4" redwood thru the full concrete section. Provide a minimum of two (2) - 1/2" dia. smooth dowels x 24" long at each expansion joint. An expansion cap shall be provided at one (1) end of each expansion dowel to prevent bonding. All concrete curb and gutter sections shall be reinforced with 2 - #4 deformed bars continuous between expansion joints as detailed on the Plans. In lieu of conventional forms, slip-formed construction may be utilized provided that the concrete has a minimum ultimate compressive strength of 4,000 psi @ 28 days. Continuous reinforcement is not required if slip-forming is used.



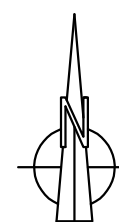
TYPICAL HANDICAP RAMP



*Foy B. Gadberr*  
10/24/2024

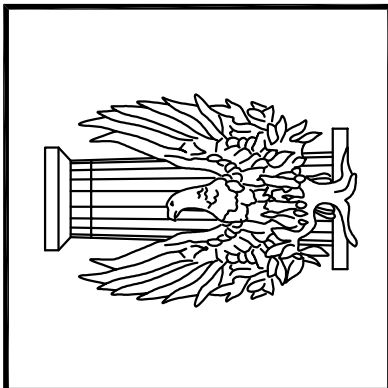


**SITE PLAN**  
SCALE: 1"=20'-0"

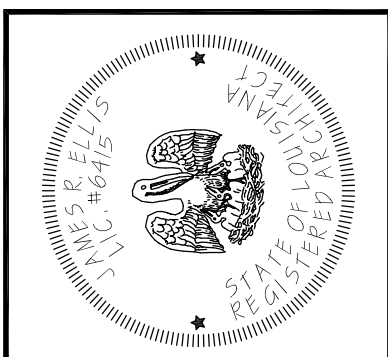


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**TA2G**  
THE ARCHITECTURE  
ALLIANCE GROUP, LLC  
ARCHITECTURE • INTERIORS • CONSTRUCTION MANAGEMENT



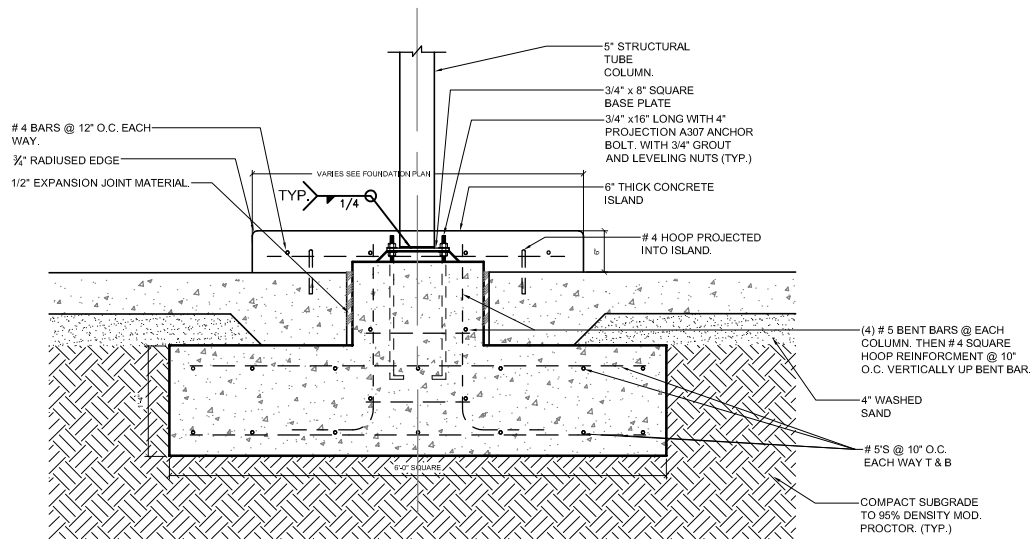
PROJECT:  
A NEW BRANCH FOR:  
**CITIZENS PROGRESSIVE BANK**  
5031 CYPRESS STREET (US HWY 80)  
WEST MONROE, LA. 71291



DATE: 4/30/24  
PROJECT NO.: 05-CPBWB24  
FILE NAME: CPB WEST MONROE  
DRAWN BY: BM / RE  
CHECKED BY:  
REVISION DATE:  
SHEET

**SP1.01r1**

DESCRIPTION:  
OVERALL  
SITE PLAN



## ISLAND DETAIL / SECTION

NOT TO SCALE

DATE: 10/31/24  
 PROJECT NO.: 05-CPBWMB23  
 FILE NAME: ISLAND DETAIL  
 DRAWN BY: BM / RE  
 CHECKED BY:  
 REVISION DATE:  
 SHEET ADDENDUM #1

PROJECT:  
 A NEW BRANCH FOR:  
 CITIZENS PROGRESSIVE BANK  
 5031 CYPRESS STREET (HWY 80)  
 WEST MONROE, LA. 71291

**TAG**  
 THE ARCHITECTURE  
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